Kauri Villa Preliminary Plans

Bethlehem, Tauranga

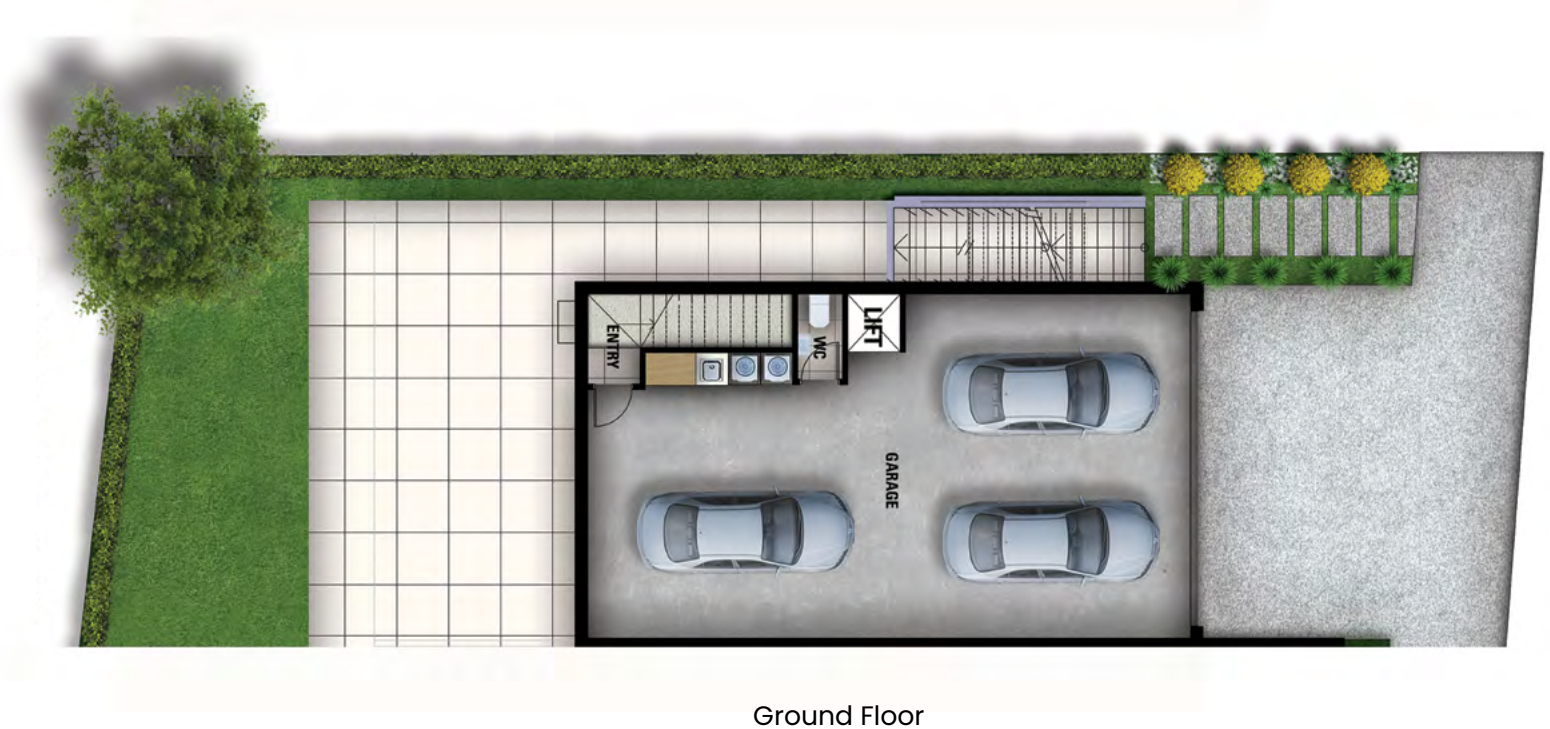
BESPOKE

IN BETHLEHEM

Kauri Villa

3 2.5 2 1

Floor Area **235 sqm***



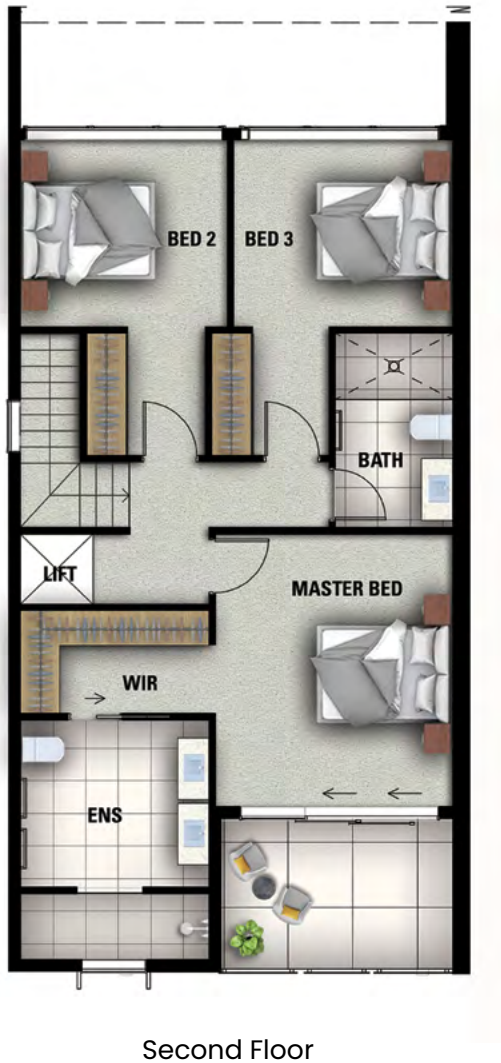
Ground Floor

Note: Artist impression. All plans are illustrated and indicative only and may not represent the actual interior of the listed apartment.

* Measurements are approximate, individual listed apartments may vary.

Kauri Villa

First Floor



Second Floor

Note: Artist impression. All plans are illustrated and indicative only and may not represent the actual interior of the listed apartment.

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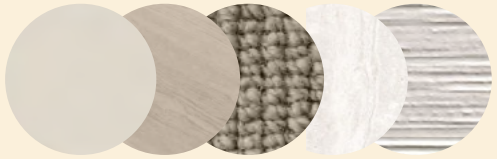
Interior & Exterior Finishes

Exterior Finishes - Option One

Roof & Cladding	Titania
Entrance Door & Joinery	Gunmetal Metallic Kinetic
Garage Door	Timber cedar colour Drydens WoodOil Driftwood
Cladding	James Hardie Stria Cladding painted Dulux Namadji

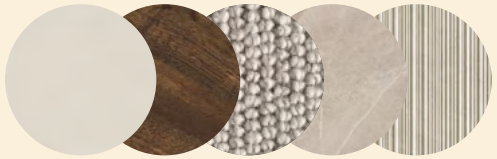
Exterior Finishes - Option Two

Roof & Cladding	Titania
Entrance Door & Joinery	Titania
Garage Door	Titania
Cladding	Coloured concrete tilt slab, with flush and shuttered concrete together



Interior Finishes - Light Scheme

Paint Colour	Dulux Haast Half
Timber Flooring	Hirst Oak Elegance Coastal Oak OR Creative Flooring Capri
Carpet	Cavalier Bremworth Levante Simoon, Kensho Rested or Levante Artifact
Tiles	Tile Space Classic Veincut White
Feature Tiles	Tile Space Maku Rock Light Décor



Interior Finishes - Dark Scheme

Paint Colour	Dulux Haast Half
Timber Flooring	Hirst Oak Elegance Coffee Oak
Carpet	Samurai Kawa
Tiles	Tile Space Shale Taupe Matt
Feature Tiles	Tile Space Shale Sand Ribbed

Prices, plans and specifications may alter without notice

Interior & Exterior Finishes

Kitchen - Light Scheme

Benchtops	Primestone Athena Polished
Kitchen Colour	Bestwood Melamine Vintage Ash Timberland
Kitchen Colour	Bestwood Melamine Feather White
Kitchen Colour	Melteca Mist Naturale
Tapware	Brushed Nickel
Handles	Brushed Nickel

Kitchen - Dark Scheme

Benchtops	Primestone Athena Polished
Kitchen Colour	Melteca Borders Oak Timberland
Kitchen Colour	Prime Melamine White Pointer Velvet
Kitchen Colour	Melteca Velveteen Natural
Tapware	Brushed Nickel
Handles	Brushed Nickel

Kitchen

Oven	Miele H 2861 BP Obsidian Oven Black
Cooktop	Miele KM 7360 FL Induction Cooktop
Rangehood	Miele PUR 98 W
Dishwasher	Miele G 7609 SCU XXL AutoDos
Microwave & Trim Kit	Fisher & Paykel OM25BLCX1
Waste Disposal	Fisher & Paykel GD75IA1

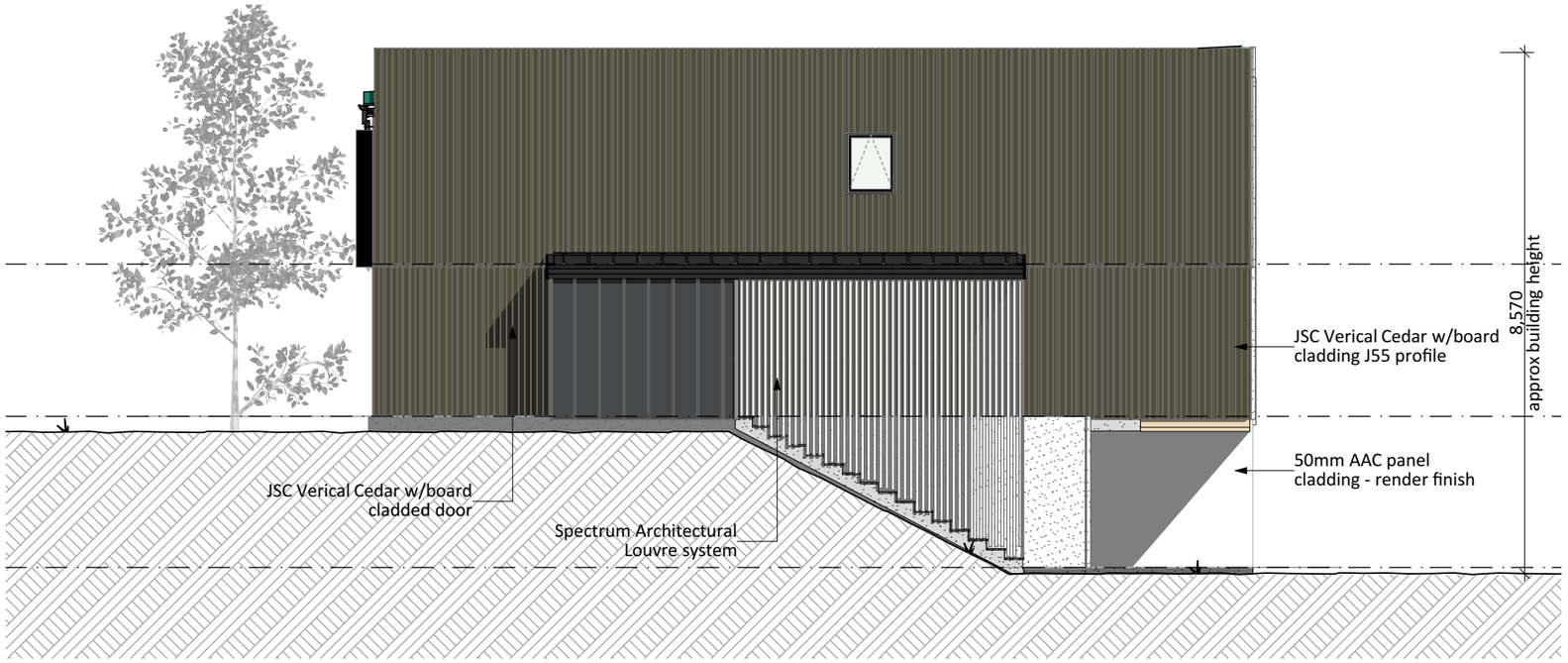
Building Specifications

Internal

Ceiling Insulation	R6.6 - R7.0
Exterior Wall Insulation	R2.9
Wet Room Gib®	13mm Gib® Aquiline in Wet Rooms
Plasterboard	10mm Gib® Standard Walls & Ceilings
Internal Doors	Paint Smooth Finish Hollow Core
Wardrobe Joinery	Wardrobes MDF, Linen Wire Framing
Water Heater	180L Electric Hot Water Cylinder
Lighting & Electrical	LED Recess Down Lights

Bathroom

Shower	Floor to Ceiling Tiled Shower
Shower Glazing	Frameless Glass
Bathroom Fittings	Brushed Nickel
Toilet	Soft Close Seat



General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access
Minimum slip resistance to steps and landings
Concrete or H5 timber step to all access points, min. 150mm below finished floor level

Foundation:

TC2 Baseraft floor to Specifi design (see Specifi structural documentation and details)

Wall Cladding:

JSC Vertical Cedar w/board cladding J55 profile
Vertical Metal Cladding
50mm AAC Panel cladding - Render finish

Roof Cladding:

45° & 3° pitch. Longrun roofing - *Tray profile 405mm min*

Fascia and Spouting:

COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

Joinery:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

BGTDEVELOPMENTS

PROJECT NO

2024112

NO	REVISION	DATE
A	PRELIM	04.12.24
B	DEVELOPED	14.01.25

NOTES

1. DO NOT SCLAE OFF DRAWINGS.
2. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE.
3. ARCHITECTS TO BE NOTIFIED OF ANY VARIATION BETWEEN THE SITE DIMENSIONS AND THOSE ON PLANS.

TITLE

BESPOKE DEVELOPMENT

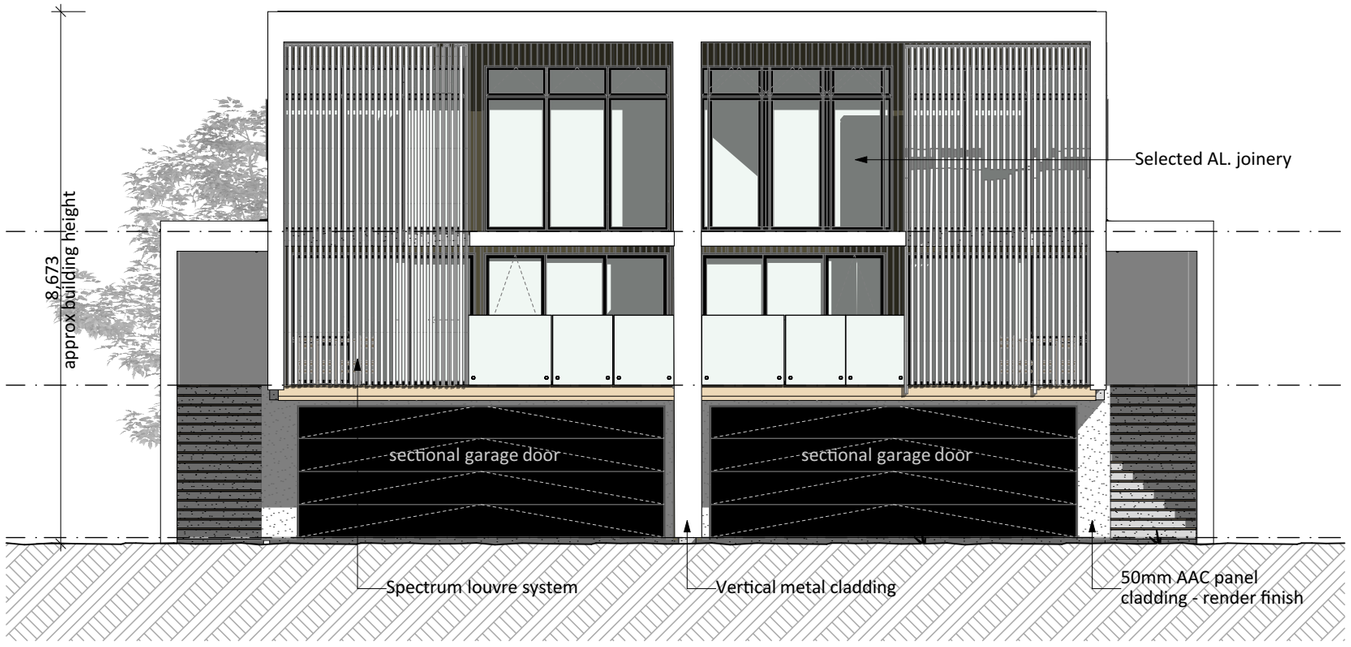
25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE

ELEVATIONS

1

NO. @2022



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SCALE

ELEVATIONS

2

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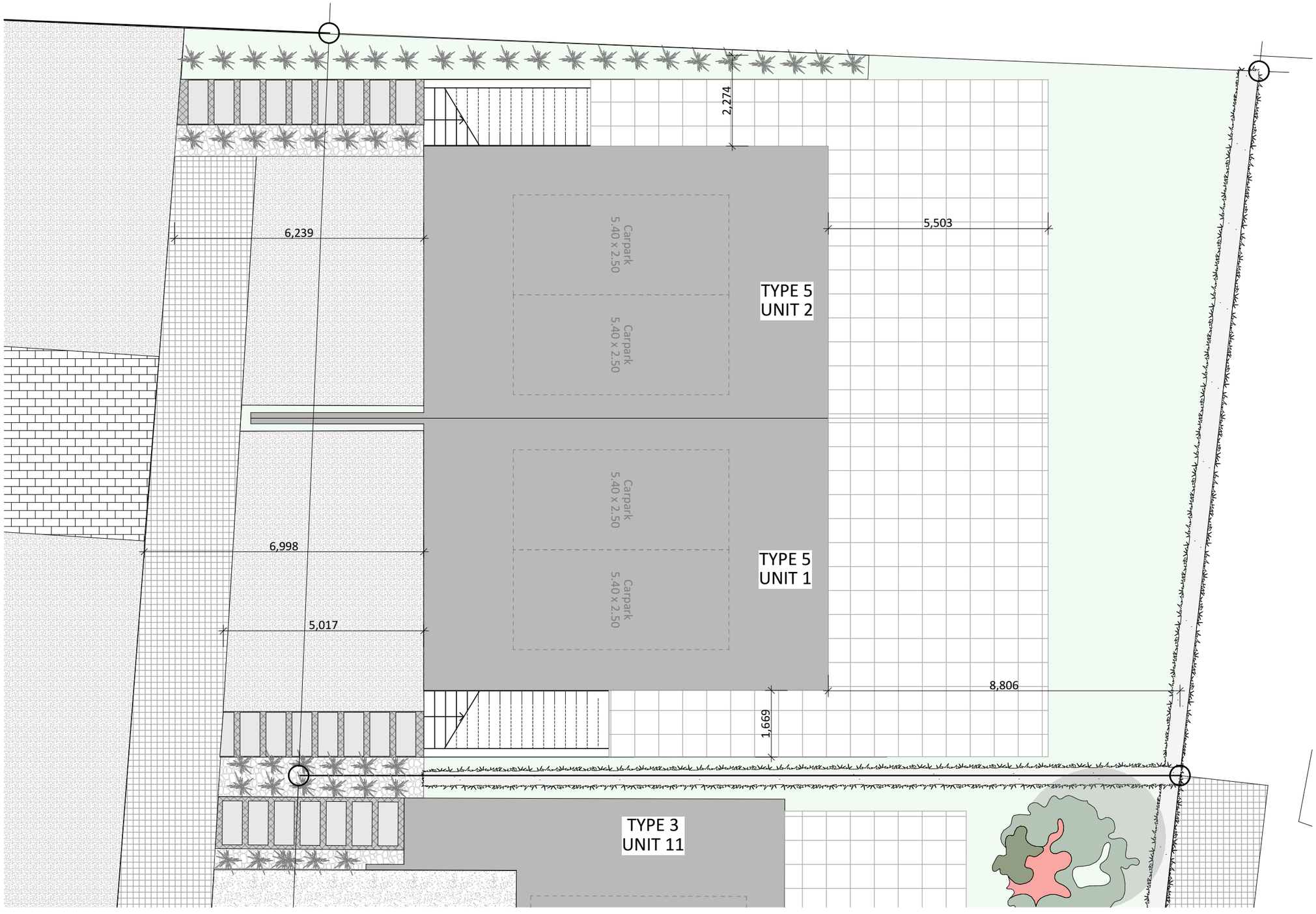

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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE 1:100

SITE PLAN

4

NO. @2022

General notes:

Always cross reference the foundation plan with the floor plan prior to setting out. If any discrepancies occur contact the designer

- Check truss manufacturers producer statements for any further load bearing footings / slab thickenings that may be required to support roof loads
- Contractor to confirm on site all boundary bearings, lengths & peg locations on site prior to commencement of works, to ensure house position is correct.
- Contractor to locate all service connections points on site prior to commencement of works. Check invert levels or pipes and manholes.
- Contractor to confirm plumbing routes and fixture positions on site prior to commencement of works.

Engineered Foundation Design:

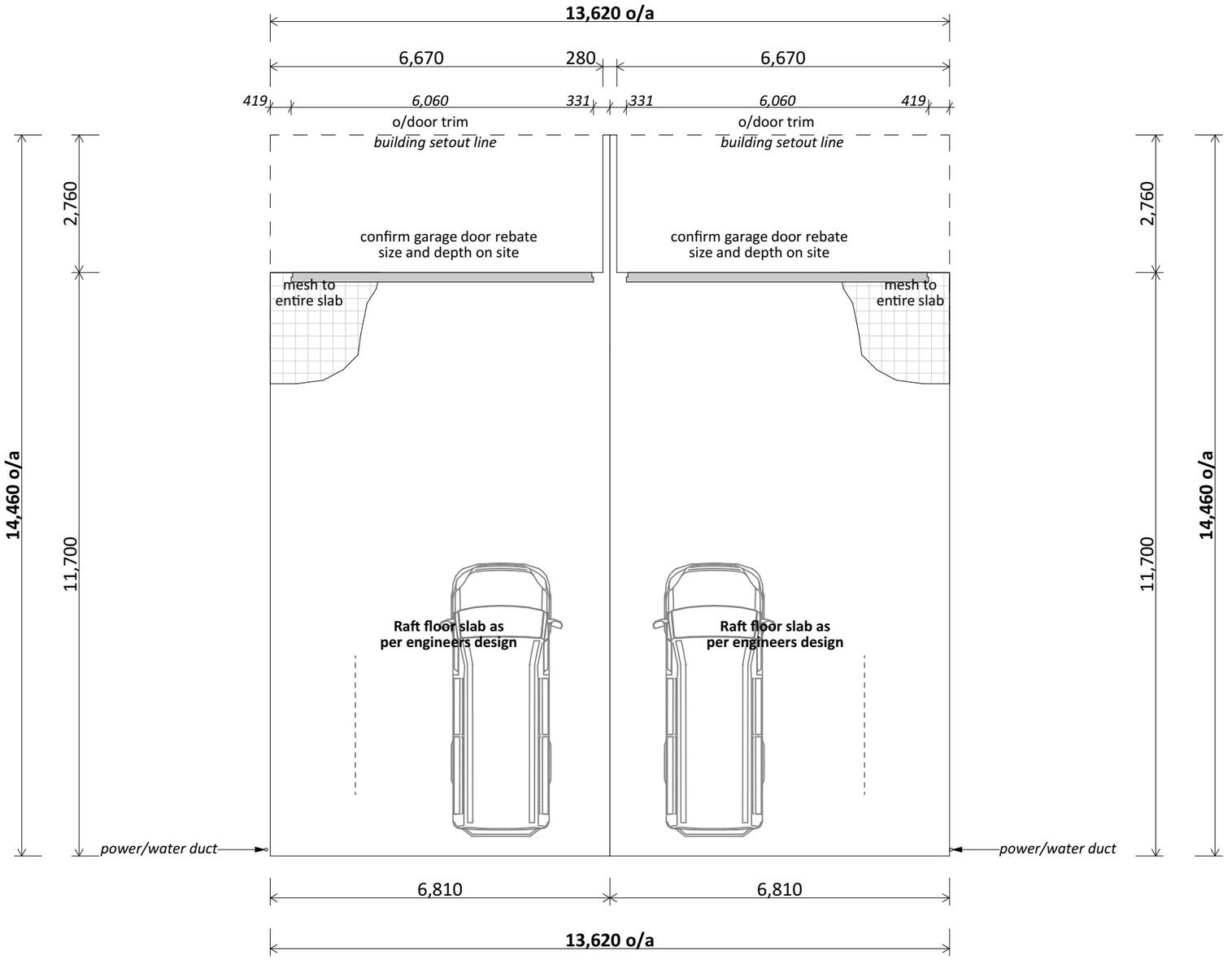
In case of discrepancies engineers report shall take precedence

1. Concrete to be min. 20/25MPa at 28 days as per NZS 3109 & NZS 3124
2. Steel fibre reinforcment as per engineers design
3. Ground to have min. 300 kPa bearing capacity - **unless confirmed by an engineer.**
4. Use compacted 25mm sand blinding under DPM or compacted crusher dust with no protrusions that can puncture the DPM
5. Hardfill to be a min. 75mm deep & max. 600mm deep - unless signed by certified engineer

Site Maintenance:

The site should be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented.

1. The site should be graded or drained so that water cannot pond against or near the building.
2. Careful consideration is required to ensure gardens do not interfere with the drainage requirements. Garden beds adjacent to the building should be avoided. Overwatering of gardens near the foundations should be avoided.
3. Planting of trees should be avoided near the foundation of the building as they may cause drying out of the clay.
4. Leaks in plumbing, stormwater and sewerage should be repaired promptly.



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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE 1:100

FOUNDATION PLAN

6

NO. @2022

General notes:

Always cross reference the foundation plan with the floor plan prior to setting out.

All joinery sizes specified are to be confirmed with an on-site measure up prior to joinery fabrication. No liability shall be held by the designers for incorrect supply of joinery.

Refer to attached pre-cut design and documents for all lintel sizes, truss and top plate fixings. Contractor to refer to truss manufacturers producer statements for any further load bearing footing / slab thickenings that may be required to support roof loads. This layout is preliminary. Read in conjunction with final PS1 and pre-cut design and documents.

Refer to all written dimensions, DO NOT scale off drawings.

2.425 stud height throughout, 2460 u/side of truss

Full height joinery to soffit (2155)
All joinery 2155 head height

Electric hobs with vented r/hood.

Mains pressure 180ℓ HWC with tempering valve and seismic restraint in accordance with NZBC: 2004 section G12. PE-Xa water supply pipes. Hot water supply pipes shall be thermally insulated to comply with H1/AS1 5.0

Please confirm plumbing fixture locations before foundation commences

Confirm shower tray size before commencing wall framing

Ensure entry lighting complies with NZBC D1/AS1 & G8/AS1. To provide a minimum *illuminance* of 20 lux, the total wattage required per m2 of floor area is shown in Table 1.

Down lights to be CA 80, CA 135. IC or IC-F Type (max 1 per 5m²).

(SD) - Approved smoke detectors required within 3m of any sleeping space - first alert hush type or similar

Access Landings:

A landing min 900mm deep shall be provided at the top and bottom of every flight of stairs where the rise of the flight is more than 600mm. Handrails are required to one side of all stairs with 4 or more risers - NZBC D1/AS1: Access routes

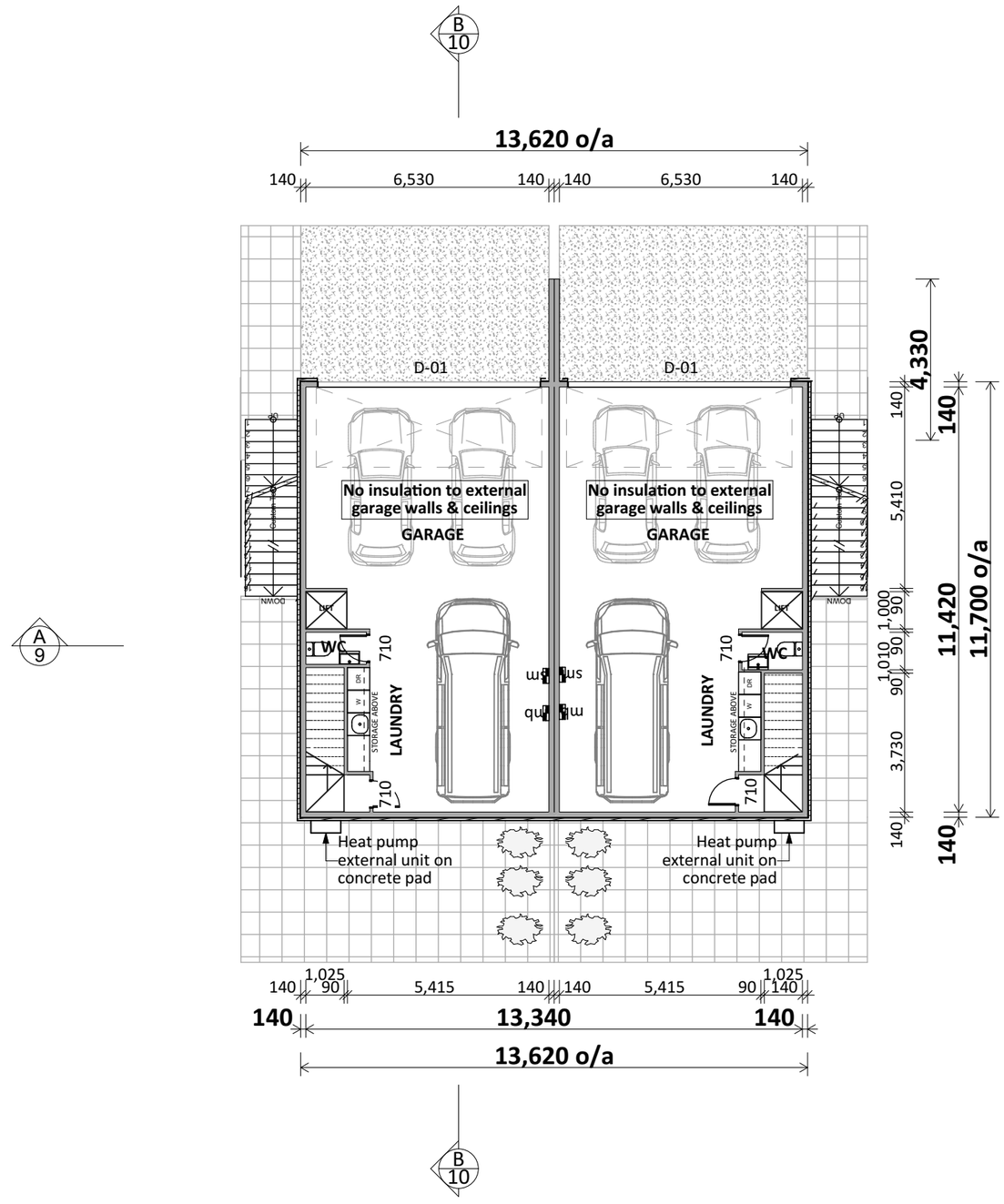
Stairway Lighting:

D1/AS1 4.6.1
Visibility of stair treads to comply with table 8.
D1/AS1 4.6.2
Switches for stairway lighting shall be able to be actrivated at:
a) The top of the stairway
b) The bottom of the stairway

Floor Area:
Area o/frame per unit: 80.06 m²

Device Key:
Smart Meter
Distribution board

Engineering
Plans are to be read in conjunction with #### engineering report and details.
Reference: -



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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
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SCALE 1:150

GROUND FLOOR PLAN

11

NO. @2022

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All joinery 2155 head height

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Confirm shower tray size before commencing wall framing

Ensure entry lighting complies with NZBC D1/AS1 & G8/AS1. To provide a minimum *illuminance* of 20 lux, the total wattage required per m2 of floor area is shown in Table 1.

Down lights to be CA 80, CA 135. IC or IC-F Type (max 1 per 5m²).

(SD) - Approved smoke detectors required within 3m of any sleeping space - first alert hush type or similar

Access Landings:

A landing min 900mm deep shall be provided at the top and bottom of every flight of stairs where the rise of the flight is more than 600mm. Handrails are required to one side of all stairs with 4 or more risers - NZBC D1/AS1: Access routes

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D1/AS1 4.6.2
Switches for stairway lighting shall be able to be actrivated at:
a) The top of the stairway
b) The bottom of the stairway

Floor Area:
Area o/frame per unit: 74.08 m²

Device Key:
Smart Meter
Distribution board

Engineering
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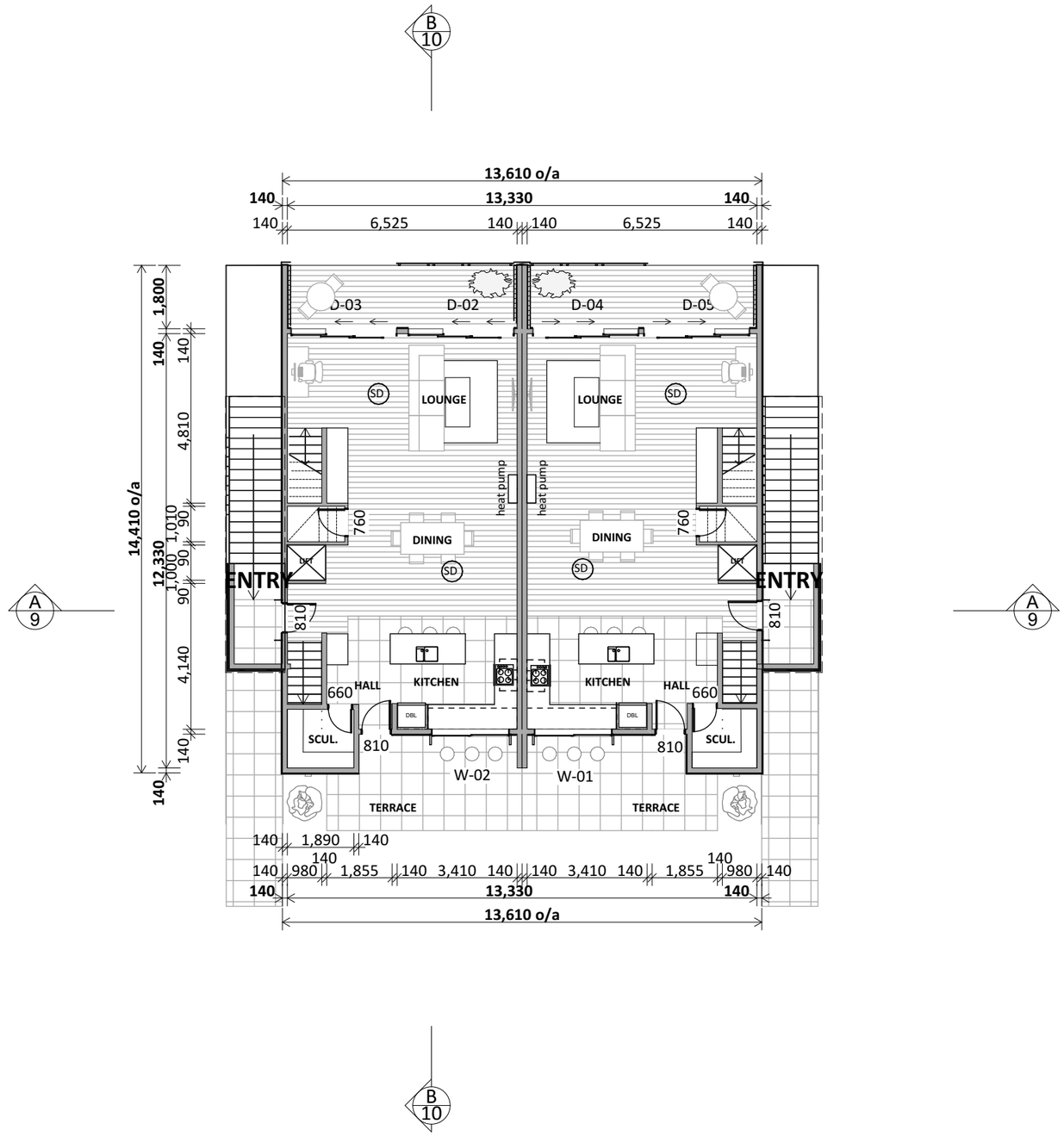

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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
BETHLEHEM,
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SCALE

FIRST FLOOR PLAN

12

NO. @2022

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Please confirm plumbing fixture locations before foundation commences

Confirm shower tray size before commencing wall framing

Ensure entry lighting complies with NZBC D1/AS1 & G8/AS1. To provide a minimum *illuminance* of 20 lux, the total wattage required per m2 of floor area is shown in Table 1.

Down lights to be CA 80, CA 135. IC or IC-F Type (max 1 per 5m²).

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Access Landings:

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a) The top of the stairway
b) The bottom of the stairway

Floor Area:

Area o/frame per unit: 74.08 m²

Device Key:

Smart Meter
Distribution board

Engineering

Plans are to be read in conjunction with #### engineering report and details.
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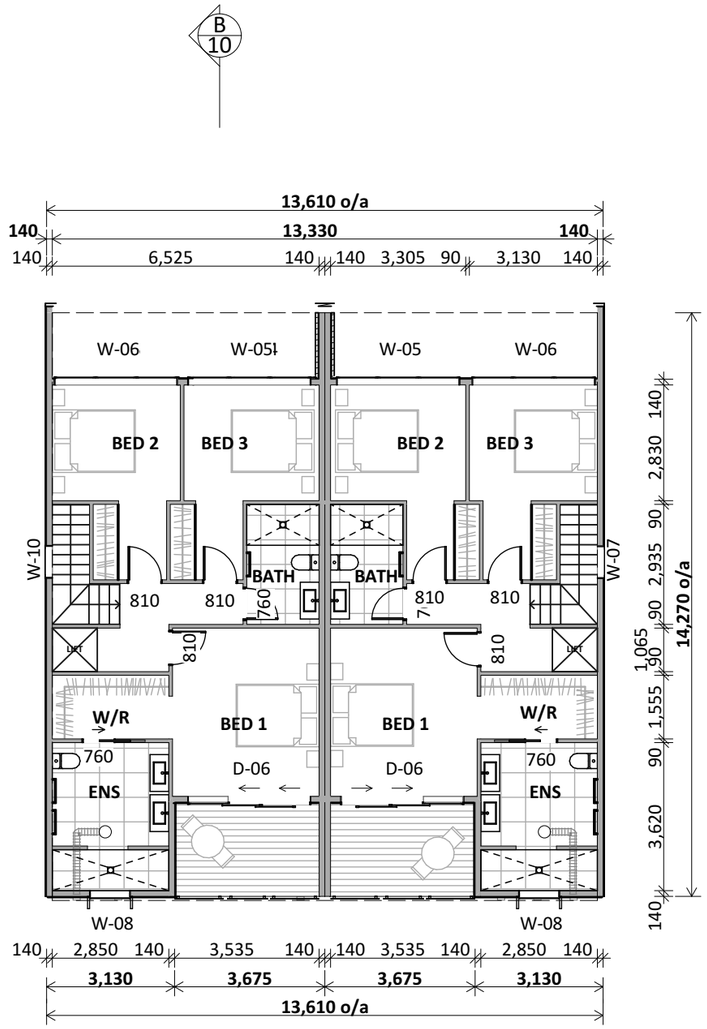

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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE

SECOND FLOOR PLAN

13

NO. @2022

General Notes:

Contractor to check and verify all dimensions on site prior to commencing construction.

REFER TO FINAL KITCHEN DESIGN PLAN BY OTHERS.
In case of any discrepancies, kitchen designer layout to take precedence.

Bench clearance is an alternative solution as requested by owner.

Shower glazing in accordance with NZS 4223 & 2016 amendments.

Wet Areas:

FLOOR FINISHES

WC
Non-slip tiles over waterproofed floor. Minimum slip resistance co-efficient for level surface between 0.25 - 0.50 acceptable in accordance with NZBC: D1/AS1 Access.

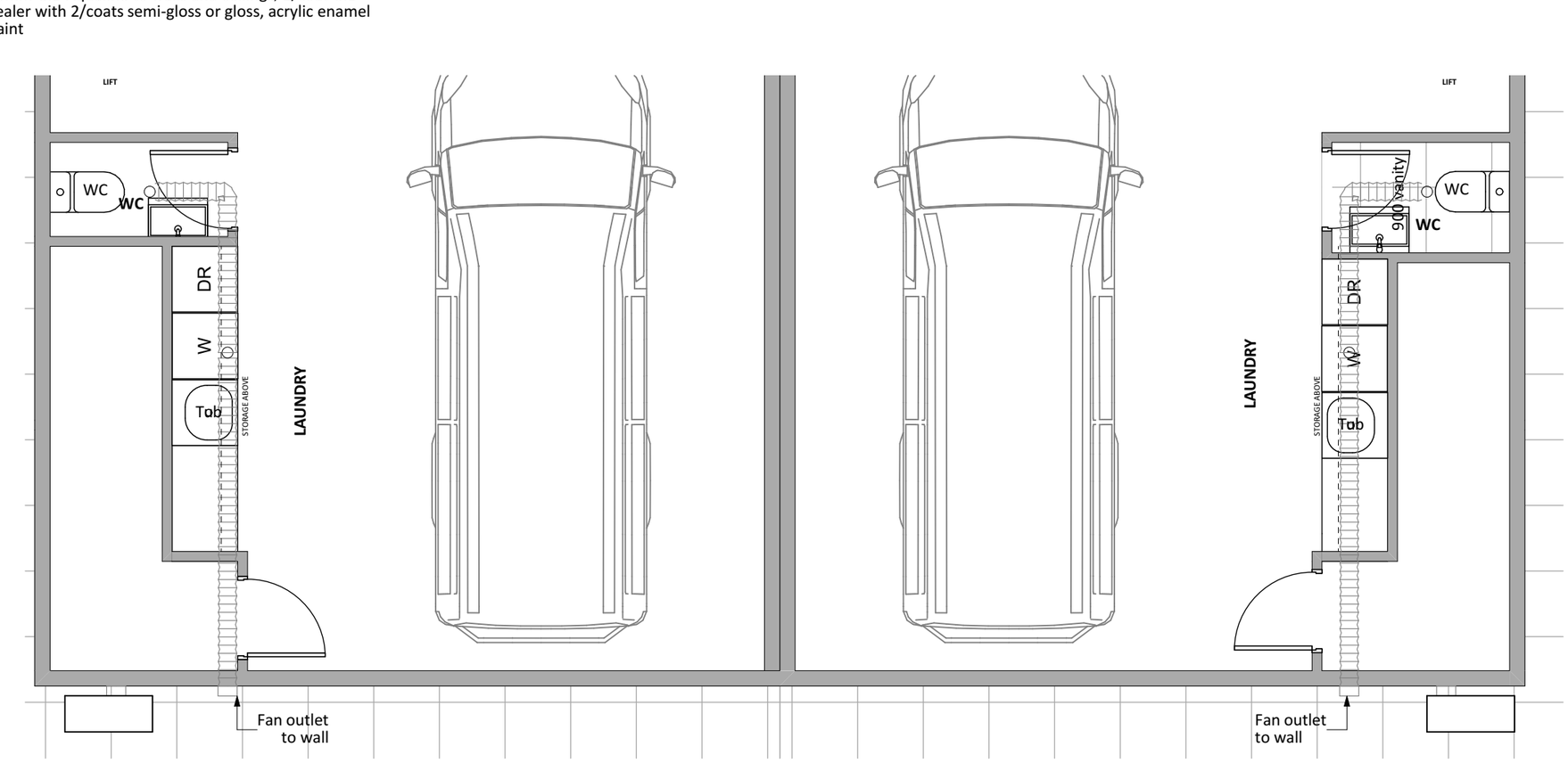
Concrete floor Tiles laid by qualified tiler, lay 1 row of tiles up wall with flexible sealant to all internal and external corners - tiler to supply producer statement for tiling (Contractor/Owner to confirm finish)

WALL AND CEILING FINISHES

LAUNDRY
10mm GIB Aqualine to entire wall behind tub only, standard GIB to ceiling and all other walls

WC
10mm GIB Aqualine to all walls, standard GIB to ceiling

BATHROOM / ENSUITE
13mm GIB Aqualine to walls and ceilings, 1/coat GIB Sealer with 2/coats semi-gloss or gloss, acrylic enamel paint



Floor Types Key:

= Tiled Floor

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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE 1:50

GROUND BATHROOM PLAN

14

NO. @2022

General Notes:

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REFER TO FINAL KITCHEN DESIGN PLAN BY OTHERS.
In case of any discrepancies, kitchen designer layout to take precedence.

Bench clearance is an alternative solution as requested by owner.

Shower glazing in accordance with NZS 4223 & 2016 amendments.

Wet Areas:

FLOOR FINISHES

WC
Non-slip tiles over waterproofed floor. Minimum slip resistance co-efficient for level surface between 0.25 - 0.50 acceptable in accordance with NZBC: D1/AS1 Access.

Concrete floor Tiles laid by qualified tiler, lay 1 row of tiles up wall with flexible sealant to all internal and external corners - tiler to supply producer statement for tiling (Contractor/Owner to confirm finish)

WALL AND CEILING FINISHES

LAUNDRY
10mm GIB Aqualine to entire wall behind tub only, standard GIB to ceiling and all other walls

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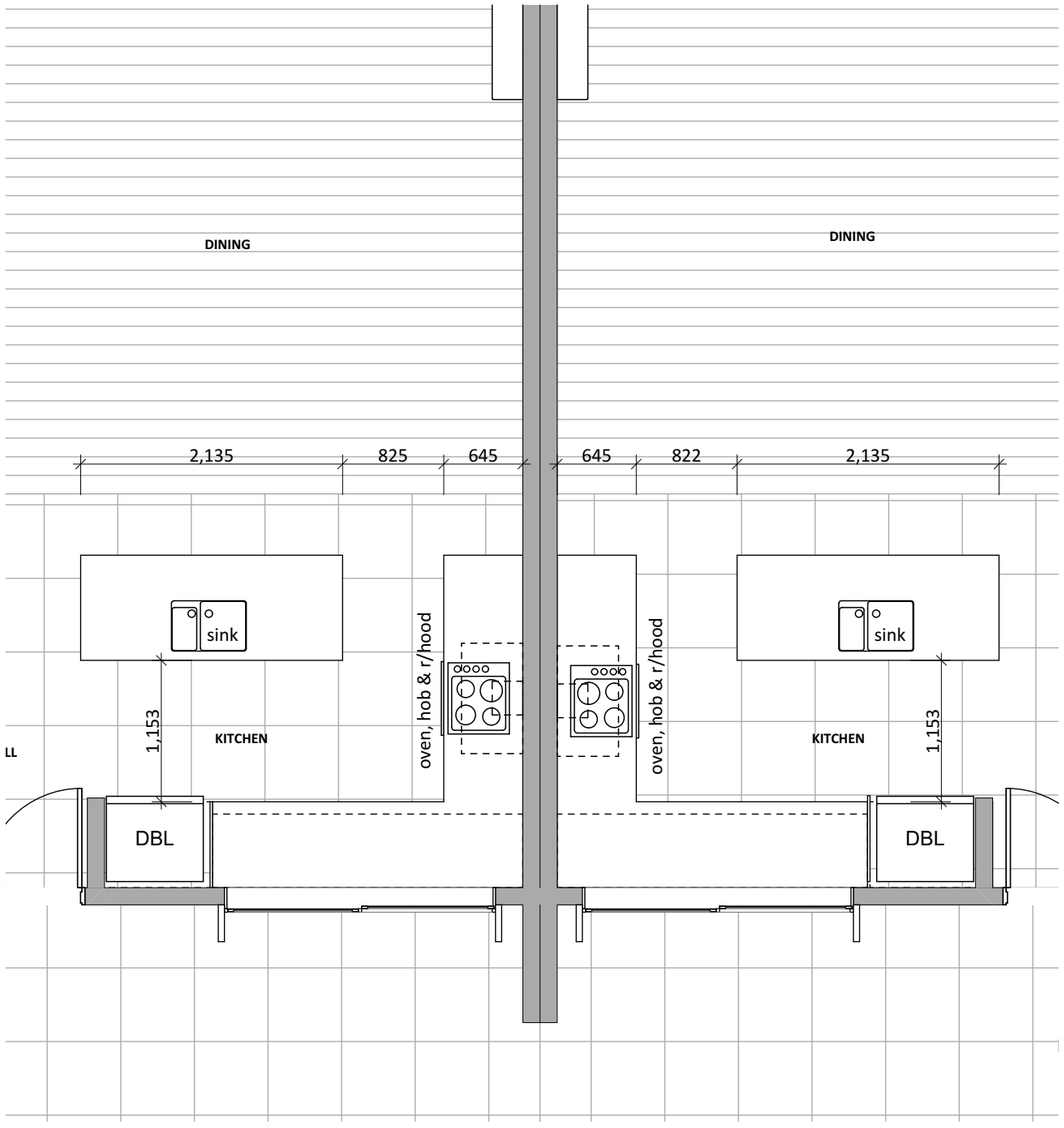

Floor Types Key:

= Vinyl Floor

= Tiled Floor

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BESPOKE DEVELOPMENT

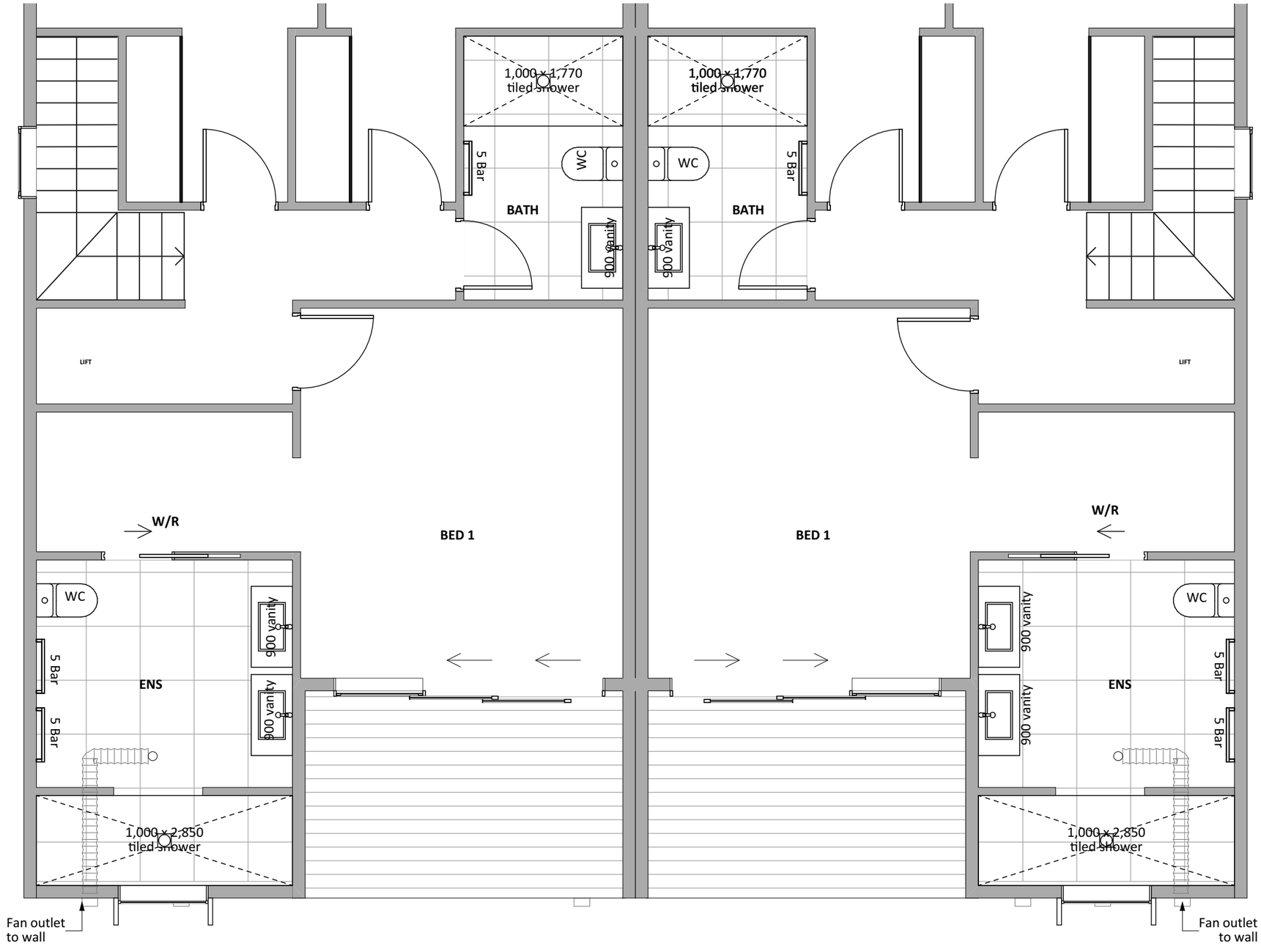
25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE

FIRST FLOOR
KITCHEN PLAN

15

NO. @2022



Floor Types Key:

= Tiled Floor

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BESPOKE DEVELOPMENT

25 Te Paengaroa Rd,
BETHLEHEM,
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SCALE

SECOND FLOOR
BATHROOM
PLAN

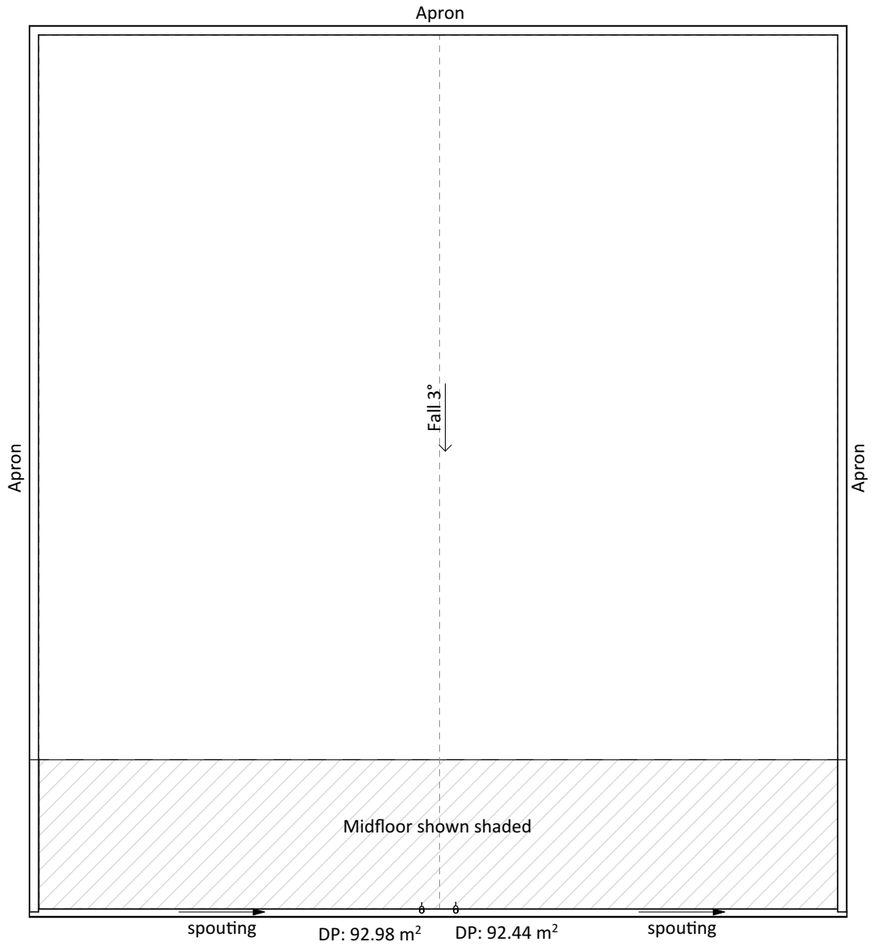
16

NO. @2022

General notes:

Refer to attached pre-cut design and documents for all lintel sizes, truss and top plate fixings. Contractor to refer to truss manufacturers producer statements for any further load bearing footing / slab thickenings that may be required to support roof loads. This layout is preliminary. Read in conjunction with final PS1 and pre-cut design and documents.

Gutter fall



BGTDEVELOPMENTS

PROJECT NO

2024112

NO	REVISION	DATE
A	PRELIM	04.12.24
B	DEVELOPED	14.01.25

NOTES

1. DO NOT SCLAE OFF DRAWINGS.
2. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE.
3. ARCHITECTS TO BE NOTIFIED OF ANY VARIATION BETWEEN THE SITE DIMENSIONS AND THOSE ON PLANS.

TITLE

BESPOKE DEVELOPMENT

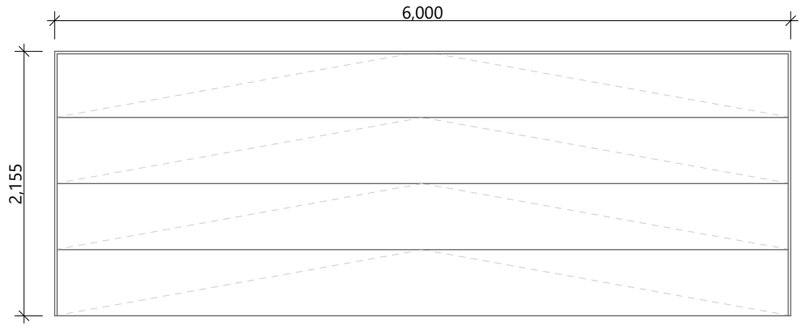
25 Te Paengaroa Rd,
BETHLEHEM,
TAURANGA

SCALE

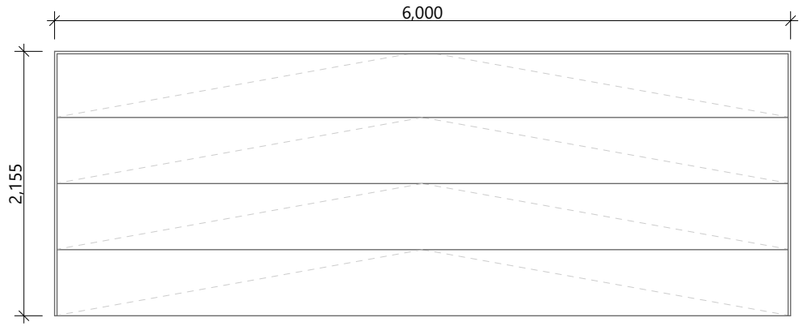
ROOF PLAN

17

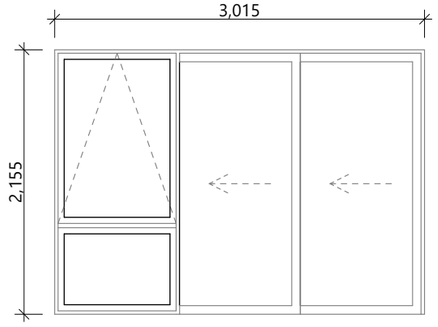
NO. @2022



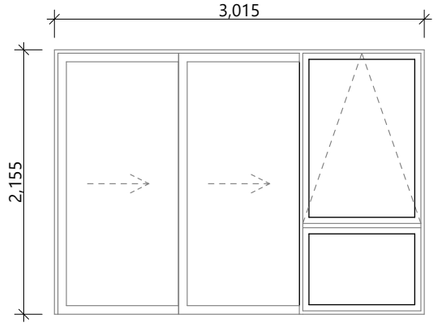
D-01



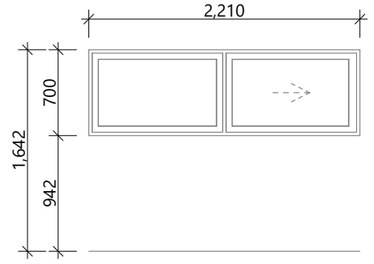
D-01



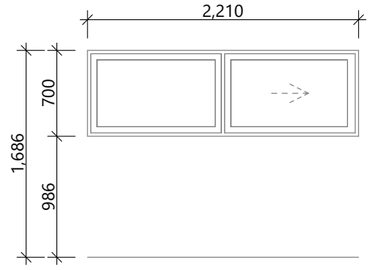
D-02, D-03, D-06
*Rebated Joinery



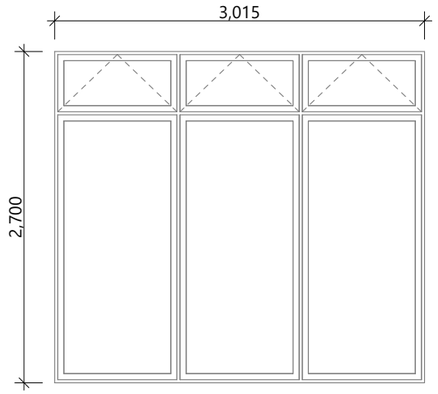
D-04, D-05, D-06
*Rebated Joinery



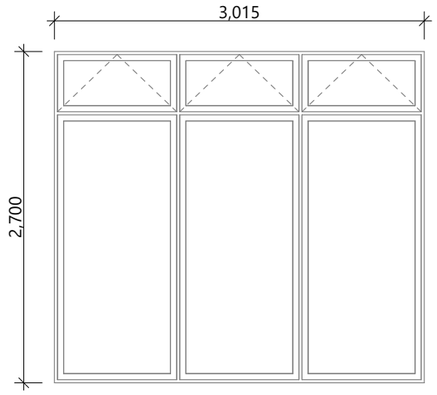
W-01



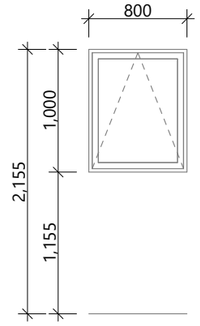
W-02



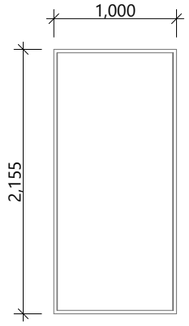
W-03, W-04, W-05, W-06



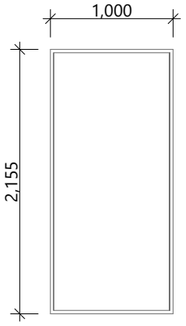
W-05, W-06



W-07



W-08



W-08

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing

Glazing in accordance with NZS 4223 & 2016 amendments.
All glazing clear float unless noted anywhere, (refer to joinery schedule)
- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.
- Doors with glazing area > 0.75m^2 = safety glass
- Doors with glazing area < 0.75m^2 = 5mm annealed
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

GLAZING

Type of glazing	U_g [1]	Spacer type [2]	Example IGU [3], [4] (informative)	R_{window} (m^2-K/W) for different frames			
				Aluminium frame	Thermally broken aluminium frame	uPVC frame	Timber frame
Double pane	2.63	Aluminium	Glass: Clear/Clear Gas: Air	R0.26	R0.32	R0.40	R0.44
	1.90	Aluminium	Glass: Low E_1/Clear Gas: Argon	R0.30	R0.39	R0.50	R0.56
	1.60	Thermally improved	Glass: Low E_2/Clear Gas: Argon	R0.33	R0.42	R0.56	R0.63
	1.30	Thermally improved	Glass: Low E_3/Clear Gas: Argon	R0.35	R0.46	R0.63	R0.71
	1.10	Thermally improved	Glass: Low E_4/Clear Gas: Argon	R0.37	R0.50	R0.69	R0.77
	0.90	Thermally improved	Glass: Low E_4/Clear Gas: Krypton	R0.40	R0.54	R0.76	R0.85

BESPOKE

IN BETHLEHEM

bespokeinbethlehem.co.nz

For more about Bespoke in Bethlehem contact
bespokeinbethlehem@bayleys.co.nz